



**COMMITTEE OF ADJUSTMENT
PUBLIC NOTICE OF HEARING
SUBMISSION NO. A38/25**

TAKE NOTICE that an application has been received from **The Jones Consulting Group c/o Ray Duhamel on behalf of Mattamy (Lockhart) Limited** for a minor variance from Zoning By-law 2009-141, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

IN THE MATTER OF the premises legally described as BLOCK 180, PLAN 51M1265 and known municipally as **252 Greer Street** in the City of Barrie.

This property is zoned Neighbourhood Mixed Use (NMU).

This application, if granted by the Committee of Adjustment, will serve to permit the construction of street townhouse blocks containing nine units.

The applicant is seeking the following minor variance(s):

1. **To permit the construction of 9 street townhouse units in a row, whereas the Comprehensive Zoning By-law 2009-141, under Section 5.4.2.3 permits no more than 8 street townhouse units in a row.**
2. **An exterior side yard setback of 1.0 metres, whereas the Comprehensive Zoning By-law 2009-141, under Section 14.6.3 (Table 14.6.2), requires a minimum side yard setback of 1.5 metres.**
3. **A front yard setback to the front porch of 2.2 metres, whereas the Comprehensive Zoning By-law 2009-141, under Section 5.4.3.2b) requires a minimum front yard setback of 3 metres.**
4. **To permit soft landscaping in the front yard setback areas, whereas the Comprehensive Zoning By-law 2009-141, under Section 5.4.3.2a) requires front yard setback areas be fully paved.**

TAKE FURTHER NOTICE that the Committee of Adjustment public hearing has been scheduled for **Tuesday, July 22, 2025**. This public meeting will be held in a virtual forum with electronic participation. The application and others will be heard commencing at **5:00 p.m. via ZOOM**.

To participate in the virtual planning meeting, you will need access to a computer with internet service or a telephone. For information on how to register for the meeting please go to: www.barrie.ca/cofa.

Although this is a public hearing, you are not required to attend unless you wish to speak to the application. If you have specific comments regarding this application, you may submit comments to the Secretary-Treasurer of the Committee of Adjustment at cofa@barrie.ca.

Every attempt should be made to file your submission six days prior to the Public Hearing date. Notice of the decision will be provided to each person who appeared in person or by authorized representative at the hearing and who files with the Secretary-Treasurer a written request for notice of the decision. If you do not attend, the hearing will proceed in your absence, and you will receive no further notice. You must register and attend the hearing to receive further notice.

For more information on the application, including plans filed with the application, please email cofa@barrie.ca.

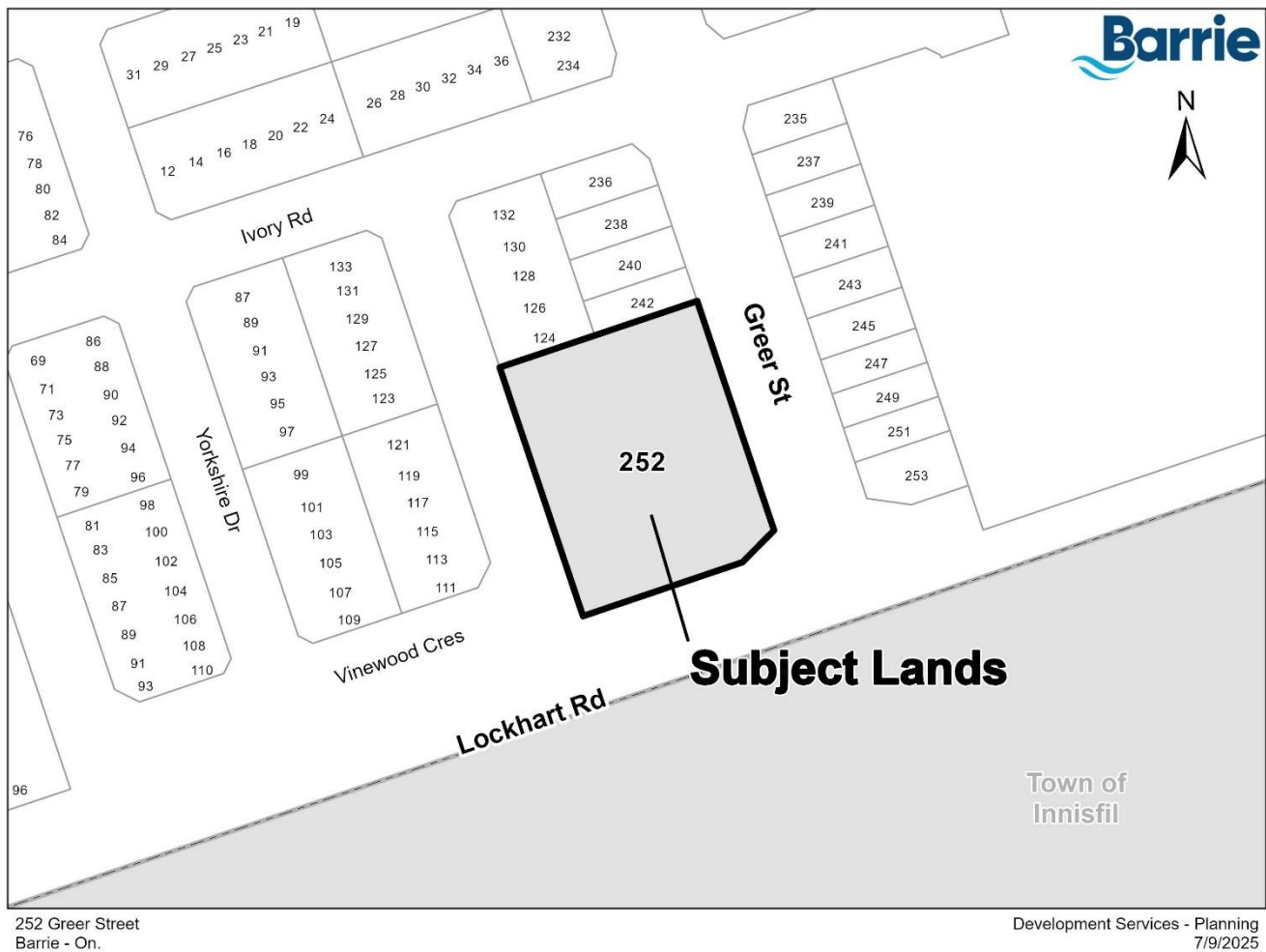
Inquiries by phone can be made through Service Barrie at (705) 726-4242 during regular business hours. If you require any language interpreters, the City of Barrie, upon request, will provide language interpreters at the public hearing.

This notice is available via www.barrie.ca/cofa.

Dated: July 8, 2025

Janice Sadgrove
Secretary-Treasurer

KEY MAP



SITE PLAN

Subject Lands Area (3542 m²)

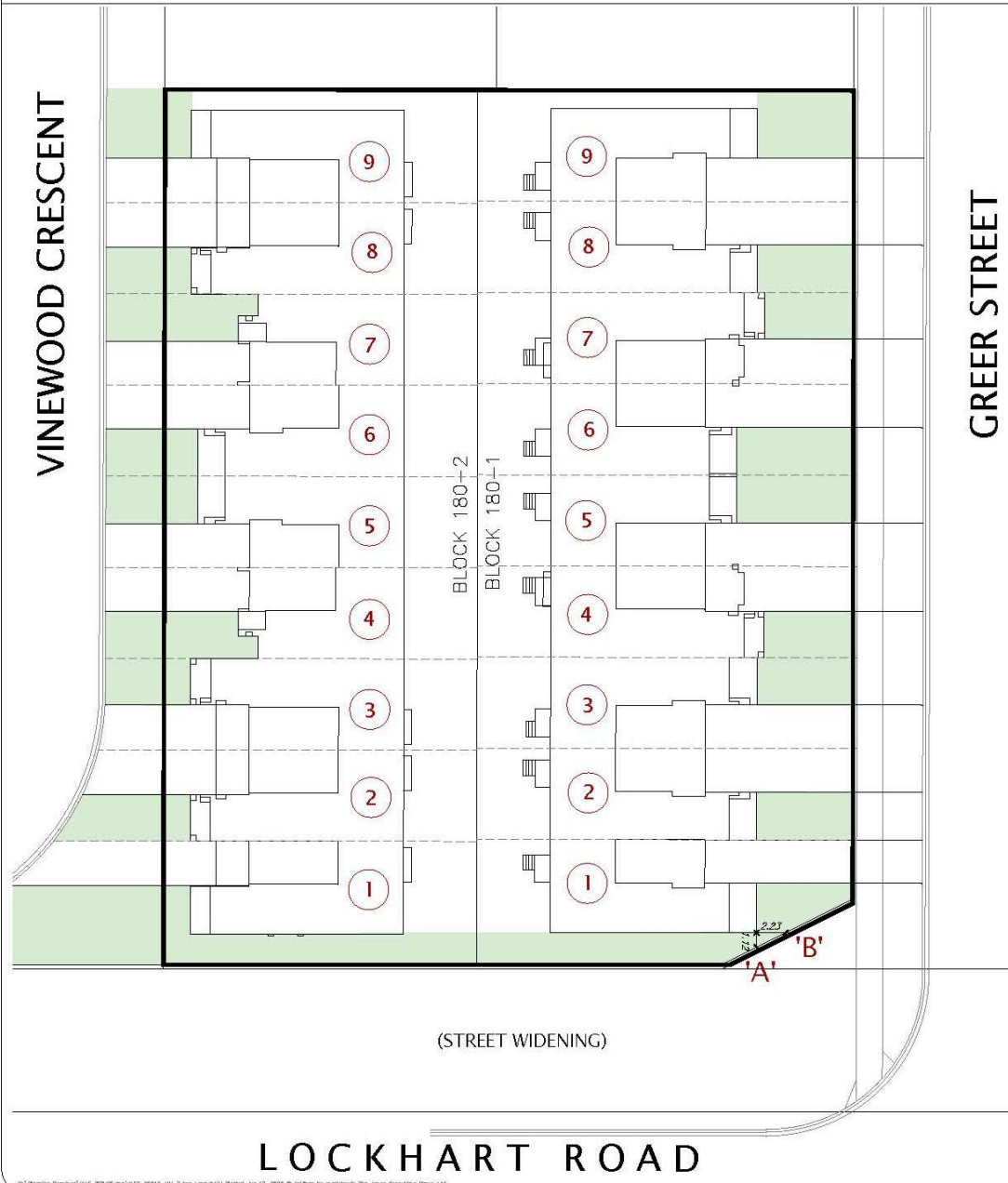
Minor Variance Sketch
Block 180 on Plan 51M-1265
(Geographic Township of Innisfil)
City of Barrie, 2025

1 - 9

'A'

'B'

Section of By-Law 2009-141	Requirement	Proposed	Variance
5.4.2.3	No more than 8 block/cluster/townhouse units shall be constructed in a row.	Permit a maximum of 9 street townhouse to be constructed in a row.	1 additional street townhouse unit in a row
14.6.2	Minimum 1.5m setback to an exterior sideyard.	Minimum 1.0m setback to an exterior sideyard.	0.5m reduction in the exterior side yard.
5.4.3.2b)	Minimum 3.0m front yard setback.	Minimum 2.2m front yard setback.	0.8m reduction in front yard setback.
5.4.3.2a)	Front yard to be fully paved and seamlessly connected to sidewalk	Permit soft landscaping in front and exterior side yard.	Soft landscaping, rather than hard landscaping.



Scale 1:500 (8.5x11)

	Date Issued:	JUNE 17, 2025
	Checked By:	RD
	Project No.:	MAT-20542
	Drawn By:	m.c.r.
	Drawing Name:	MAT-20542-MV-3.dwg

JONES
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