

Option A



**GENERAL JOHN HAYTER SOUTHSORE COMMUNITY CENTRE EXPANSION**  
2025-08-22

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**METTKO**

○ **Unity**

**Unity** | **Architecture** for  
the human spirit



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138 Simcoe Street  
Peterborough, ON, K9H 2H5

**Collingwood**  
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Collingwood ON, L9Y 2L7

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# Building Summary

381m2 (including breezeway)

The proposed building is a Pt. 3, one-storey, Group A Division 2 occupancy structure, designed for low-hazard use. The building is not required to have sprinklers under current code provisions.

The structure faces one street and comprises two separate building areas that are connected via a shared roof. The design does not require fire-rated walls, and combustible materials are permitted throughout, including for fire separations. There are no limitations on the exterior cladding materials.

The building includes two universal (barrier-free) water closets to meet accessibility and occupant needs.

Fire access is compliant: the distance from the hydrant to the fire pumper is 90 metres, and from the pumper to the principal entrance of the building is less than 45 metres (Figure 1).

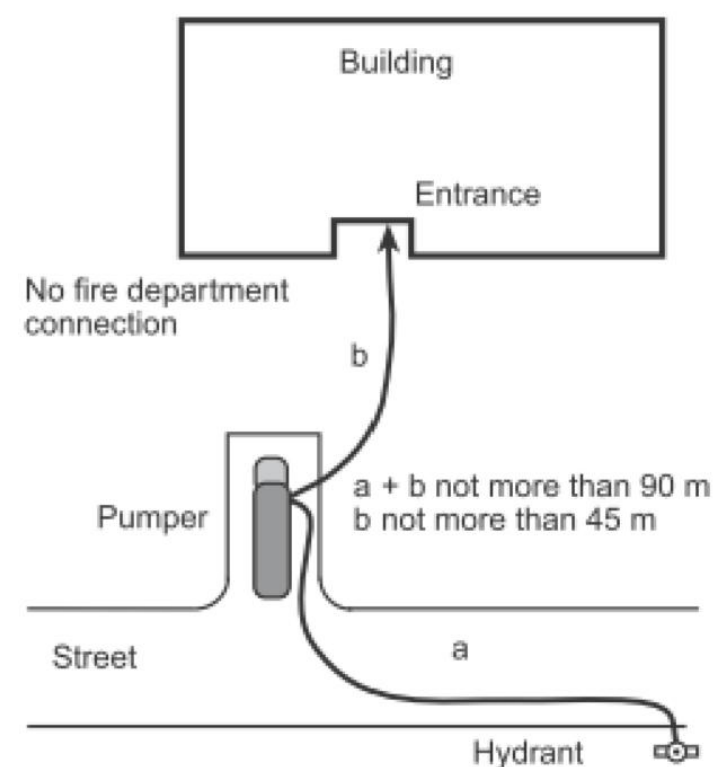


Figure 1

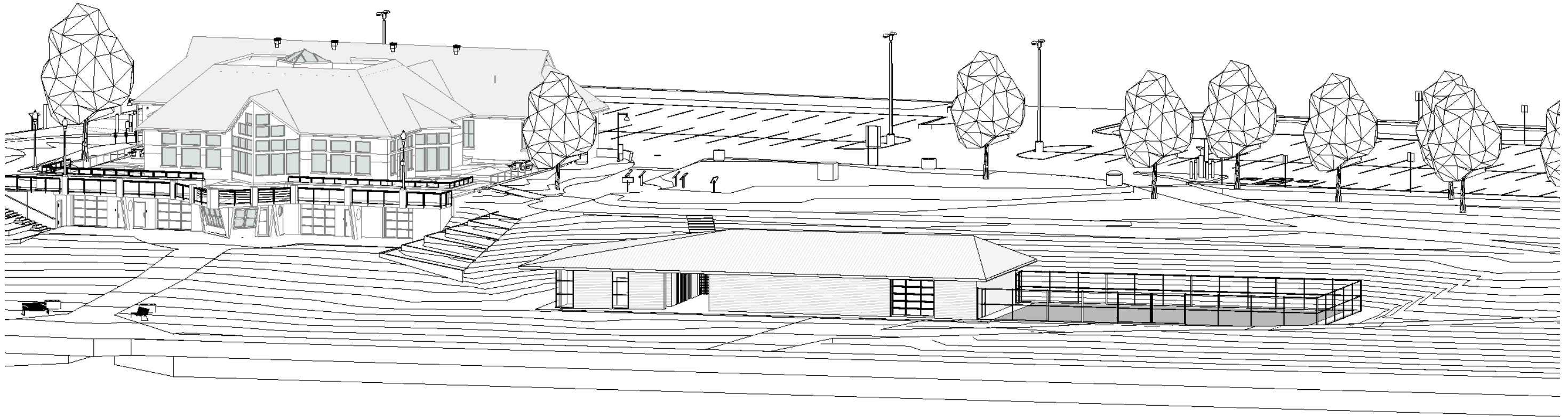
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Precedents



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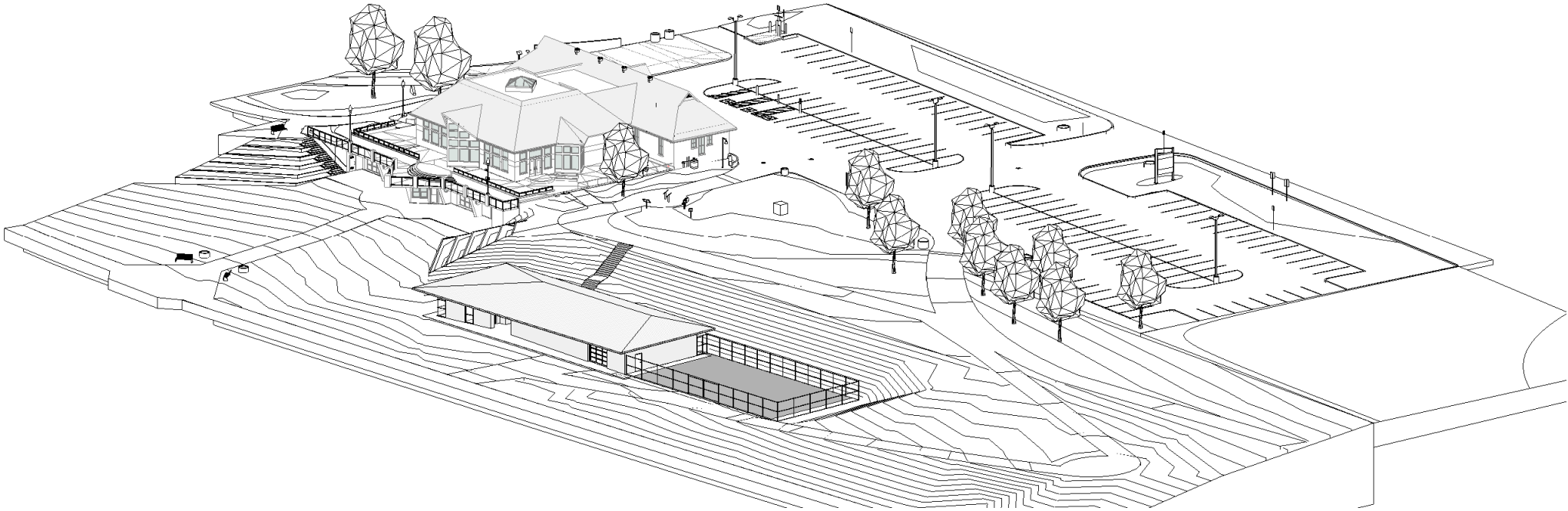
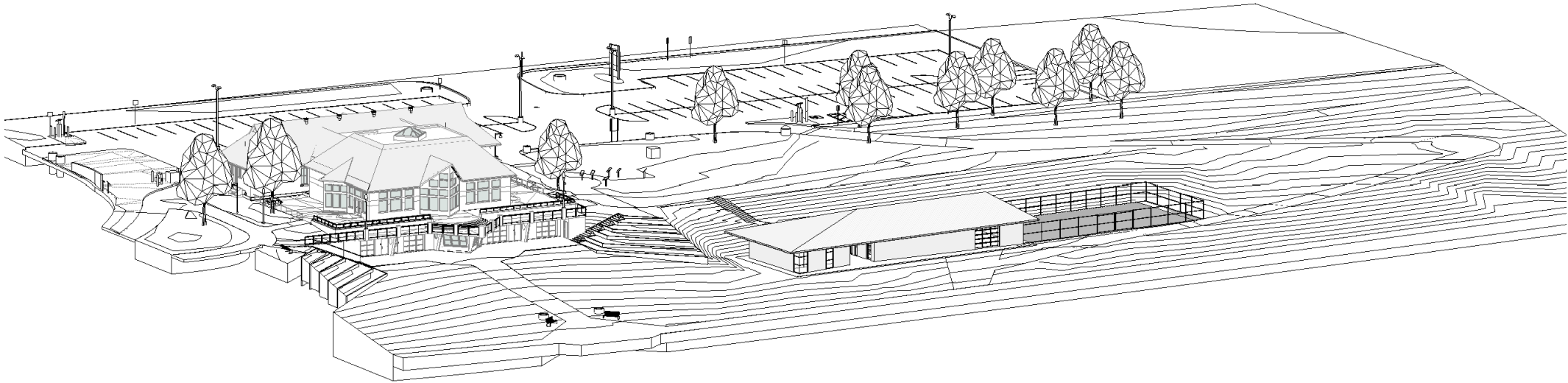




This represents the first design option as part of the architectural package for your consideration.

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Ortho Views



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SITE STATISTICS

SCOPE OF PROJECT:

THE PROJECT IS A TWO-STOREY NEW BUILD WITH BASEMENT. THE PROGRAM OF THE NEW BUILD CONSISTS OF AN AQUATICS CENTRE AND A WELLNESS CENTRE WITH SUPPORTED ANCILLARY FUNCTIONS. THE SECOND FLOOR HOUSES THE MUNICIPAL OFFICES AND A POOL VIEWING AREA. THE NEW BUILD IS ATTACHED TO AN EXISTING ARENA AND MUNICIPALS OFFICES. THERE IS SELECTIVE RENOVATION OF THE MUNICIPAL OFFICES.

GENERAL:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEY INFORMATION TAKEN FROM TOPOGRAPHICAL PLAN PREPARED BY RAINES GEOMATICS INC., ONTARIO LAND SURVEYORS, DATED : NOV.11, 2022

THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR ERRORS OR OMISSIONS RESULTING FROM THE USE OF INFORMATION TAKEN FROM THESE SOURCES.

1. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PAVEMENT, CURBS, WALKWAYS AND OTHER SITE FEATURES THAT ARE DISTURBED OR DAMAGED BY THIS WORK.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CITY OF BARRIE PLANS RELATING TO SITE PLANS

MUNICIPAL ADDRESS:

600 TOMLINSON DR., PORT ELGIN, ON

LEGAL DESCRIPTION:

PLAN OF ALL OF LOTS 105 TO 151 INCLUSIVE AND ALL OF BLOCKS A, O AND P AND ALL OF RUBY MCGILLIVRAY CRESCENT AND PART OF BLOCK B REGISTERED PLAN M-43 (TOWN OF PORT ELGIN) TOWN OF SAUGEEN SHORES COUNTY OF BRUCE

ZONING STATISTICS FOR I ZONE:

LOT FRONTAGE (TOMLINSON DR.)	= 205.90m
FRONT YARD SETBACK	= 78.90m
REAR YARD SETBACK	= 66.13m
SIDE YARD SETBACK (WELLINGTON ST.)	= 16.01m
SITE AREA	= 47,526 m2
BLDG FOOTPRINT (PLEX + AWC)	= 9072 m2
BLDG (NUCLEAR INSTITUTE)	= 574 m2
TOTAL BUILDING COVERAGE	= 846 m2
	= 2 %
HARDSCAPE AREA COVERAGE	= 22,183 m2
	= 46 %
LANDSCAPE AREA COVERAGE	= 15,697 m2
	= 33 %

SITE AREA

AREA	Hectares
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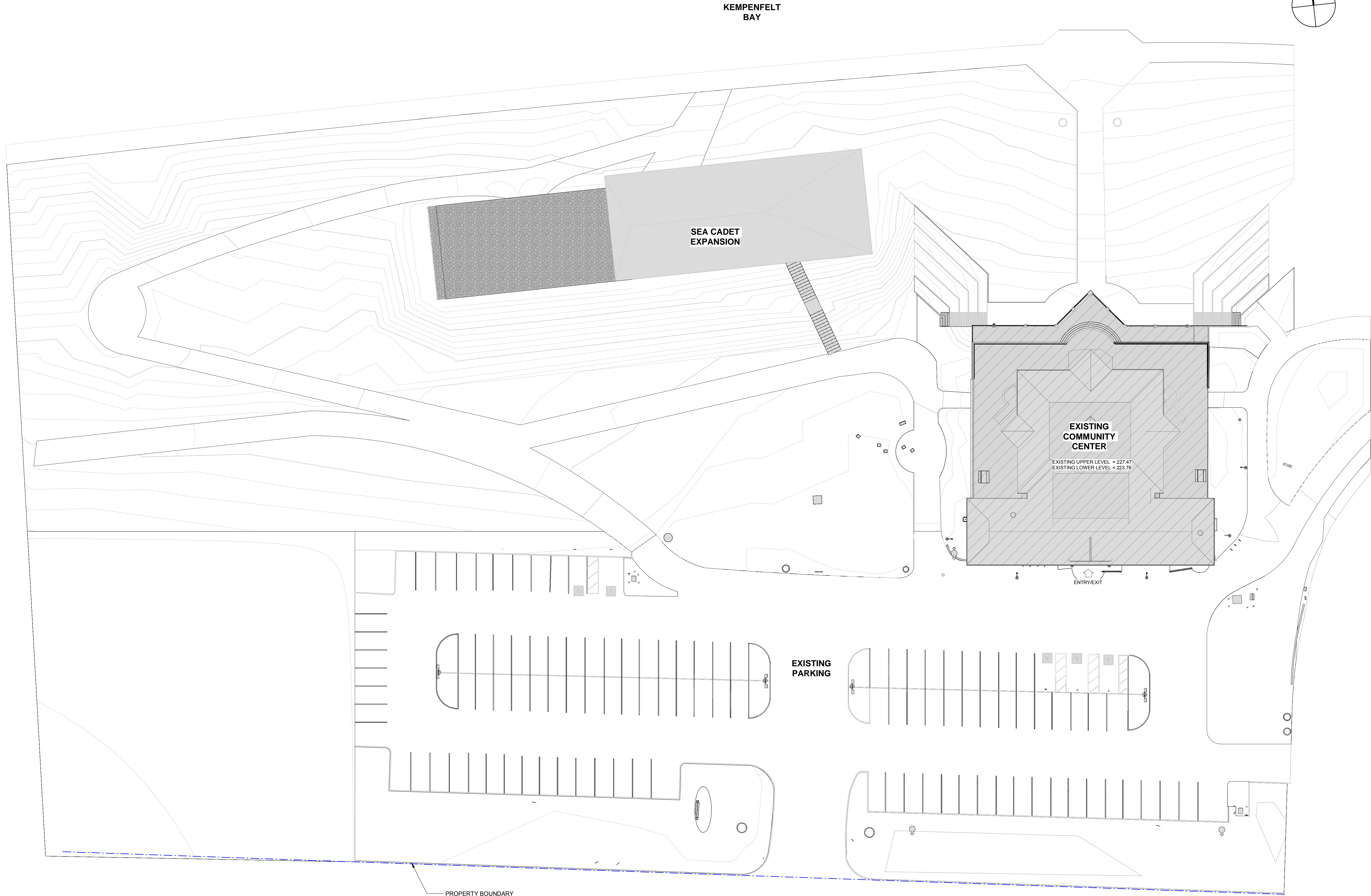
GROSS FLOOR AREA

NAME	OBC CLASSIFICATION	AREA	AREA f12
Area		130.57 m²	1405.44 SF
		130.57 m²	1405.44 SF

PARKING SPACES

Notes:  
Parking Bylaw (000) Municipality Name  
Accessible Parking per ADA Standards

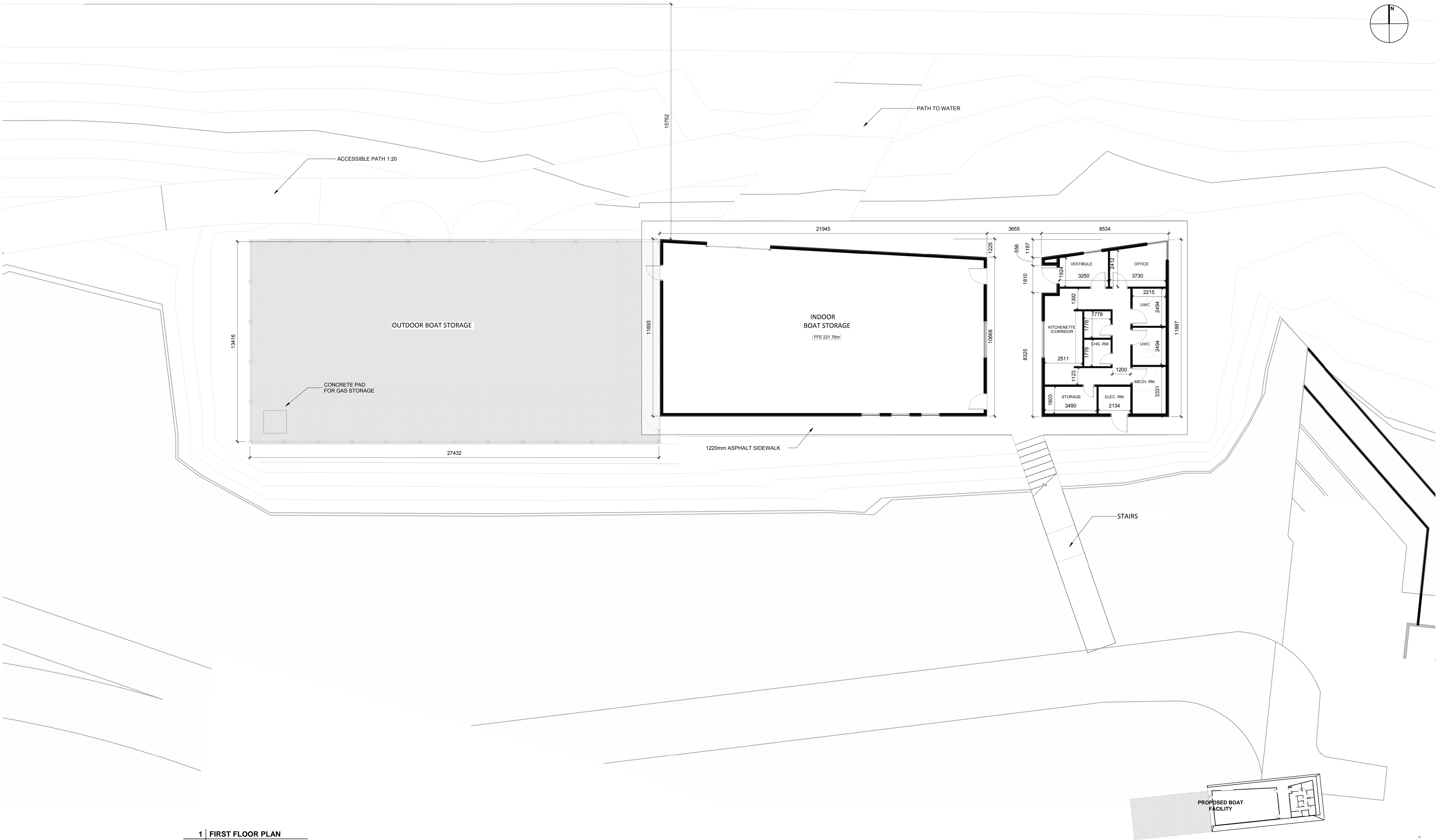
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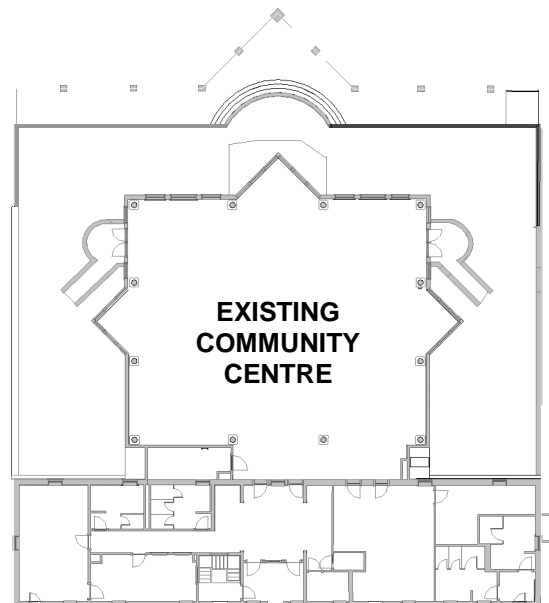
1 SITE PLAN

AS-101.1 REF: Scale: 1 : 250





1 | FIRST FLOOR PLAN  
A-101 | REF: A-201 | Scale: 1 : 100



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SPA	Permit	Tender	Contract	Construction
No.	Description	Chk'd	Date	
1	PRELIMINARY		AUG.05.25	

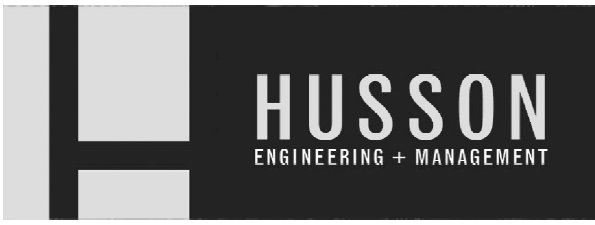
Project		CITY OF BARRIE GENERAL JOHN HAYTER SOUTHSHORE COMMUNITY CENTER ADDITION	
205 Lakeshore Dr, Barrie, ON		25-101	
Scale	As indicated		
Date Plotted	2025-08-05 3:57:23 PM		
Drawn	Author		
Checked	Checker		
Project No.		25-101	
Drawing No.		FIRST FLOOR PLAN	



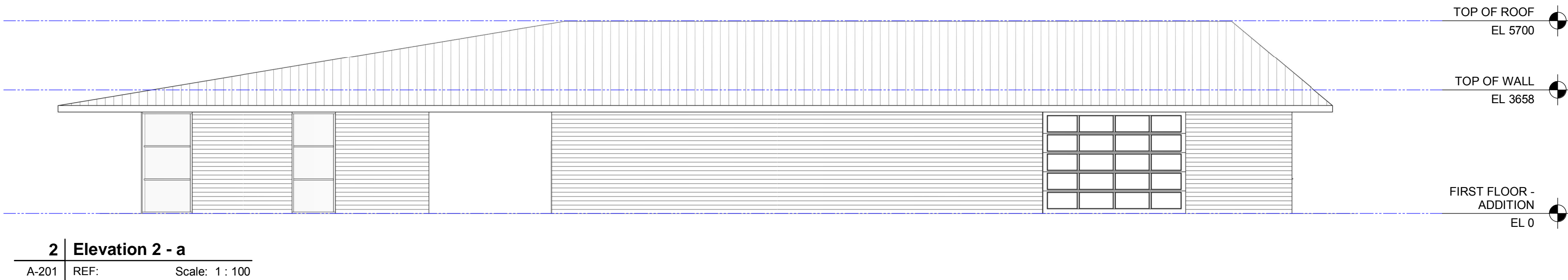
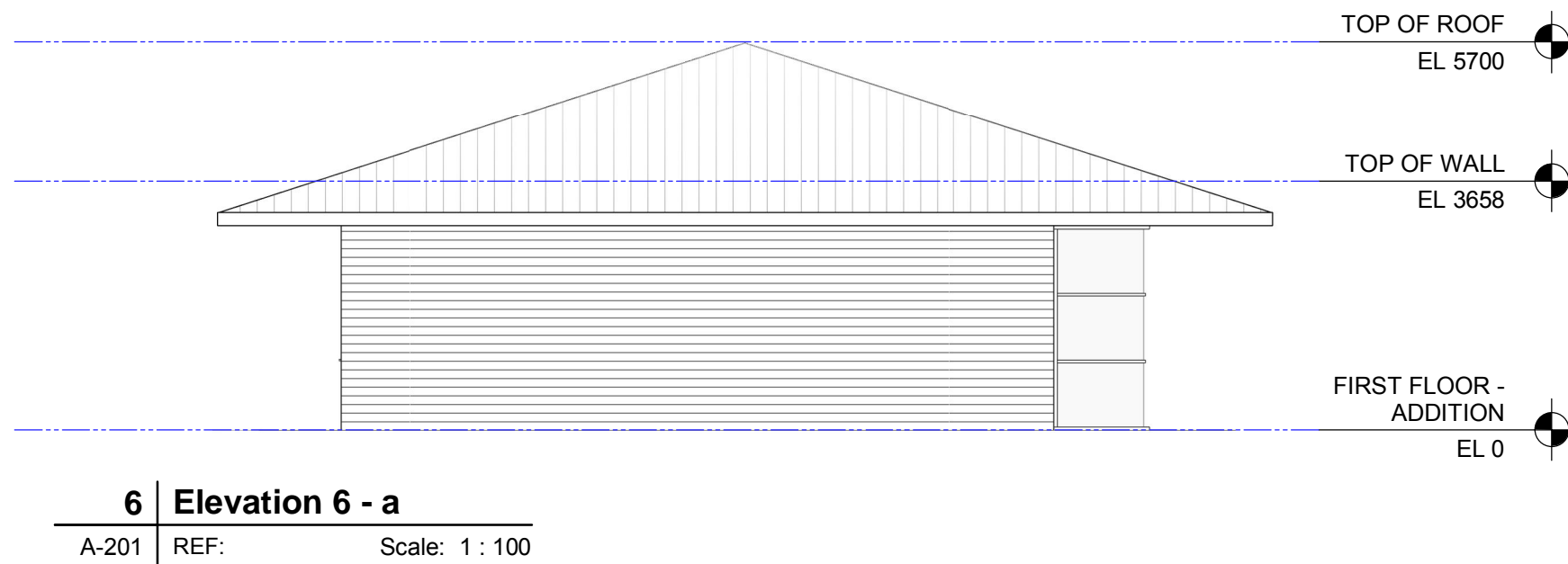
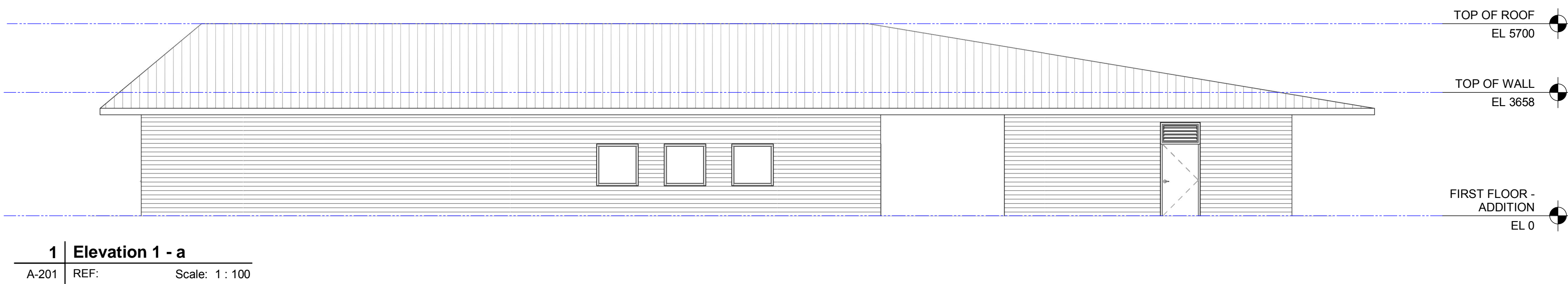
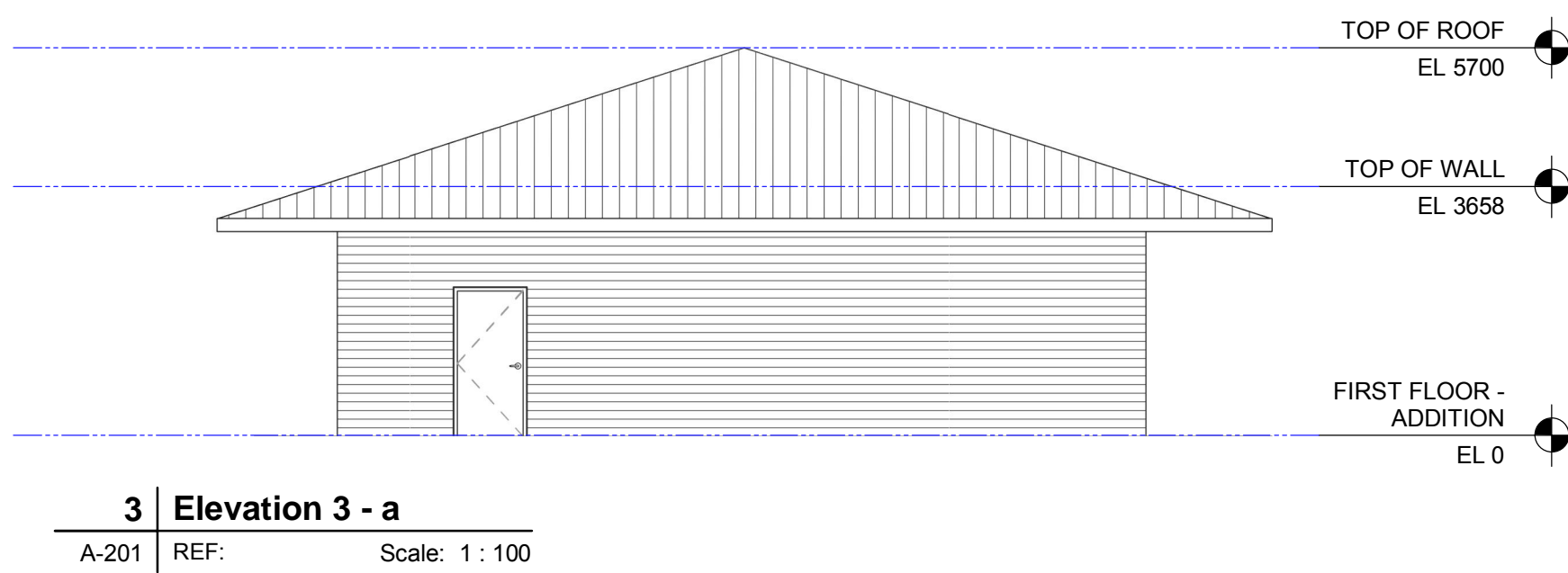
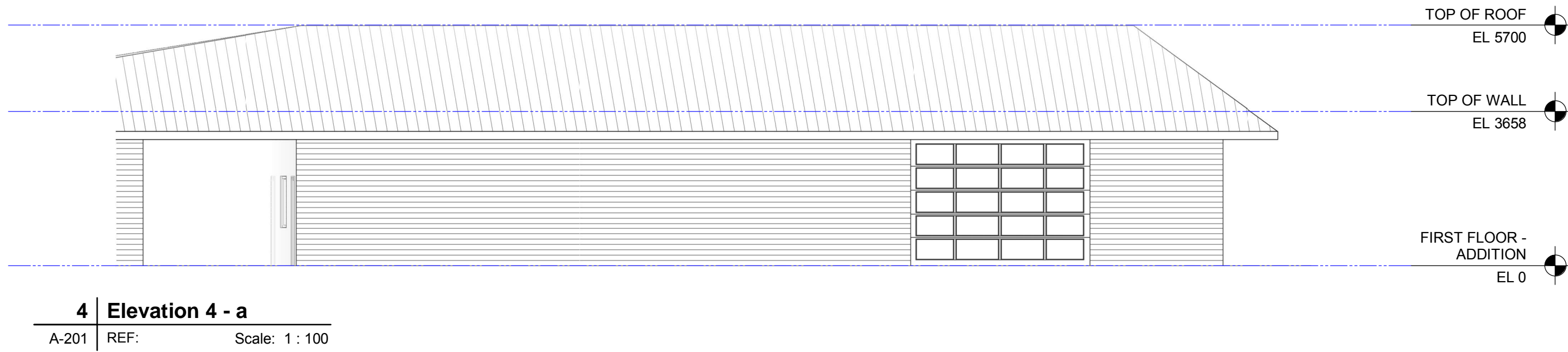
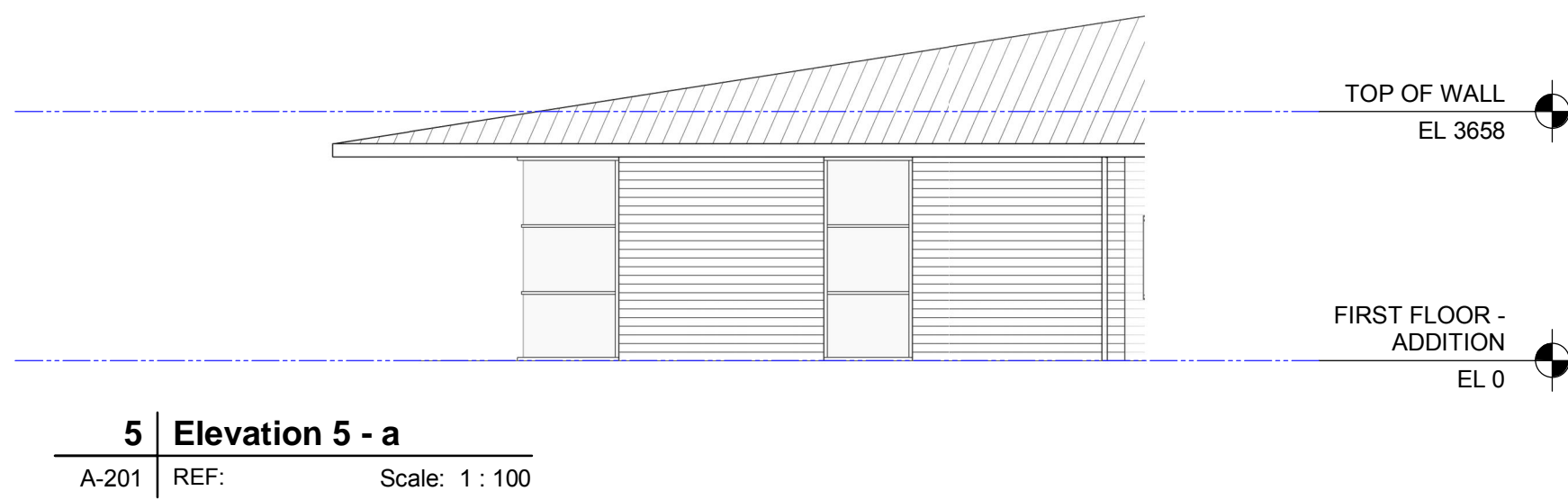




moses structural  
engineers



SPA	Permit	Tender	Contract	Construction
No.	Description	Chk'd	Date	
1	PRELIMINARY		AUG.05.25	



**CITY OF BARRIE**  
GENERAL JOHN HAYTER  
SOUTHSHORE COMMUNITY  
CENTER ADDITION

205 Lakeshore Dr,  
Barrie, ON

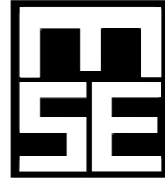
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Project No. 25-101  
Drawing No.

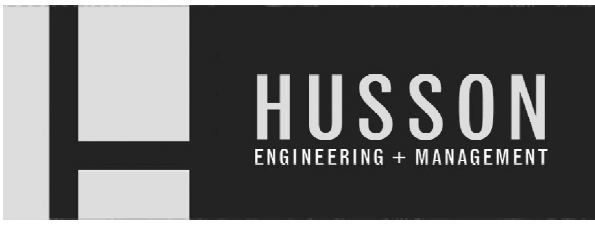
BUILDING ELEVATIONS

A-201





moses structural  
engineers



SPA	Permit	Tender	Contract	Construction
No.	Description	Chk'd	Date	
1	PRELIMINARY		AUG.05.25	

Project

CITY OF BARRIE  
GENERAL JOHN HAYTER  
SOUTHSHORE COMMUNITY  
CENTER ADDITION

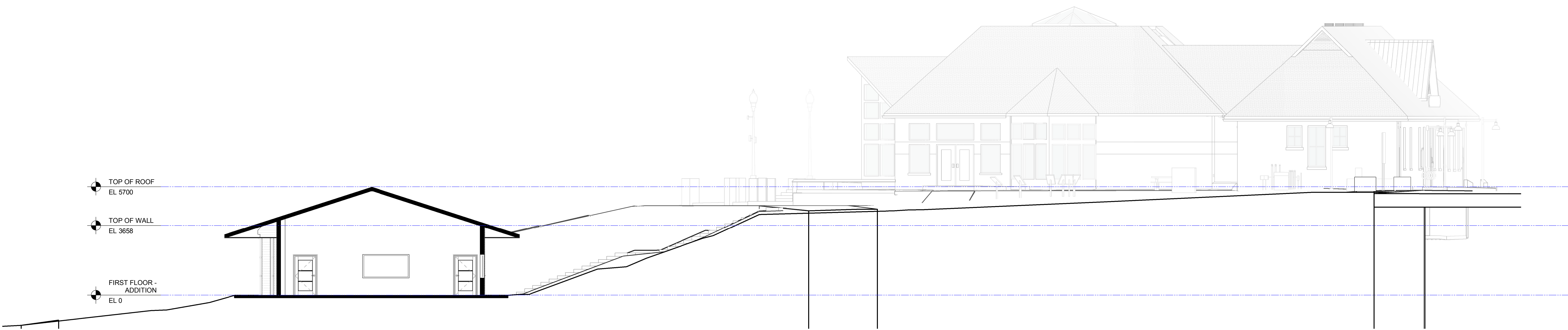
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Barrie, ON

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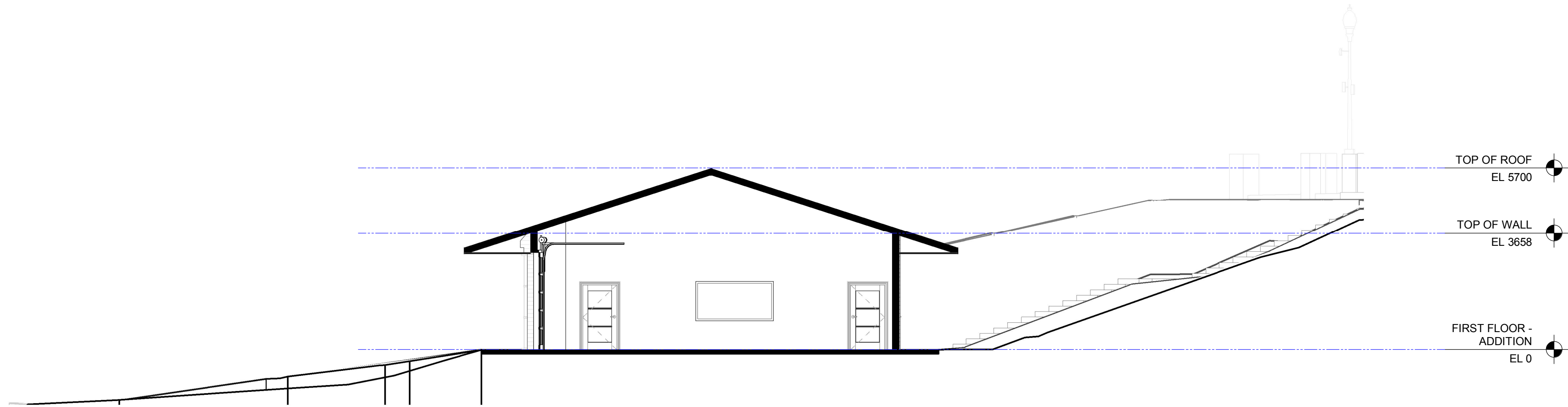
BUILDING SECTIONS

A-301



1 | BUILDING SECTION A1  
A-301 | REF: A-192 | Scale: 1 : 100

Regrading will be required, with a suggested slope of 1:3 leading to the building slab to ensure proper site drainage and elevation transition



2 | BUILDING SECTION B1  
A-301 | REF: A-192 | Scale: 1 : 100

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# Barrie South Shore – Sea Cadets –Outline Specification

## Summary

This outline specification defines the key architectural, structural, and material elements of the new Sea Cadets facility located at Barrie South Shore. The project is designed to blend seamlessly with its natural and built surroundings, while emphasizing durability, utility, and a refined, contemporary marine character.

## Exterior Construction

### *Foundation*

- The entire structure will be constructed on a Slab-on-Grade Concrete Foundation, 4"–6" thick.
- Asphalt be installed 4 feet beyond the building footprint on all sides to:
  - Prevent soil erosion
  - Provide a clean perimeter
  - Facilitate drainage and maintenance access

### *Structural Framing*

- Wood Framed Structure using engineered framing components.
- The Boat Storage Area will utilize Scissor Trusses to achieve a higher ceiling clearance suitable for mast storage and large equipment.

### *Cladding & Soffits*

- All exposed vertical surfaces will be clad in Thermally Modified Wood, selected for its natural texture, weather-resistance, and architectural richness.
- The Large Roof Overhangs will be detailed with matching wood soffits for visual continuity. This creates a clean, modern silhouette while enhancing weather protection and passive solar control.

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### *Roofing*

- Roofing will feature Corrugated Metal, following a long hip roof form to accentuate the building's marine-industrial aesthetic while providing longevity and drainage performance.
- Eavestrough & rain leaders will be galvanized to match the roof. Snow guards will be strategically installed along the roof edges to prevent the sudden release of snow and ice, ensuring the safety of occupants and protecting entryways, walkways, and adjacent structures from potential damage.

### *Doors and Openings*

- Commercial Garage Door (10' x 14'): Full-view, aluminum-framed overhead doors with reflective tempered glass.
  - Maximizes natural daylight
  - Offers interior views while preventing external visibility
  - Enhances safety, security, and aligns with the architectural language
- Windows: High-performance, thermally broken aluminum-framed units with:
  - Double-glazed glass for thermal and acoustic comfort
  - Shadowline profiles and 1" mullions

### **Outdoor Storage Area**

- The outdoor storage yard surface will be finished with crushed stone, offering:
  - Good drainage for water runoff from wet boats and equipment
  - A low-maintenance, permeable surface that prevents pooling and erosion

### *Fencing*

- The outdoor boat storage area will be enclosed with Architectural Fencing:
  - Black chain link fence with 1 sliding access gate and 1 person gate at the rear
  - Provides security while maintaining a light, open appearance that complements the natural setting and materials used on the building

### *Exterior Lighting*

- Lighting design will integrate LED fixtures around the perimeter of the exterior building.
  - Fixtures selected for durability and a minimal, modern profile
  - Light levels will prioritize safety and highlight the building's form at night
  - Energy-efficient and weather-resistant solutions designed to reduce maintenance

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### *Site Circulation*

- A series of asphalt pathways will follow the site's natural grade, guiding visitors around to the rear of the facility in a seamless and accessible manner.

## **Interior Construction**

### *Boat Storage Area*

- Concrete Slab Floor, 4"–6" thick (continuous with foundation)
- Interior walls clad with Oriented Strand Board (OSB) up to 8 feet from finished floor:
  - Allows Cadets to mount masts and equipment directly to the walls
  - Provides durability and utility in high-use storage areas
- Industrial Ceiling Fans to enhance air movement and ventilation:
  - Reduces moisture buildup
  - Promotes even airflow and protects stored marine gear

### *Administrative Building*

- Walls & Ceilings: Gypsum Wall Board (GWB) with acoustical batt insulation in partition walls to ensure privacy and sound control
- Flooring: Smooth, Polished Concrete Floors with a refined finish that offers:
  - A modern, clean look
  - High durability and easy maintenance
- Interior Doors: Solid-core, one-panel Masonite doors, painted finish, with black lever hardware for a sleek, professional appearance
- Millwork & Casework:
  - Constructed with budget-friendly, durable materials
  - All countertops and horizontal surfaces to utilize sustainable solid surface materials such as Quartz or Durat for longevity, appearance, and environmental performance

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## *METALWORK*

•All fabricated metal components—including fencing hardware, gates, and custom steel elements—will be designed and finished with consistent detailing and color to maintain a unified architectural aesthetic both inside and outside the facility.

## *LIGHTING*

### *Interior Lighting*

- Full LED lighting package featuring energy efficient fixtures
- Lighting levels calibrated to:
  - Support both task and ambient needs
  - Enhance safety and comfort
  - Minimize energy use and maintenance

### *Exterior Lighting*

- Architectural galvanized LED pot lights recessed in the overhangs and entry points
- Designed for:
  - Safe circulation after dark
  - Visibility of key pathways and equipment zones
  - Long-term weather performance
  - A clean visual match with interior fixtures for cohesive design

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### Services

All mechanical and electrical distribution and devices will be thoughtfully integrated within the building’s structure to support ease of future retrofits and minimize visual clutter. If exposed duct work is required (boat storage area), then perforated or vented ducts will be permitted and embraced as part of the architectural expression. These visible elements will be deliberately coordinated to contribute to the overall aesthetic but not impede on the function or movement of sailing components, offering a functional yet visually engaging layer that complements the building’s refined industrial character.

All fixtures are to comply with the City of Barrie’s established standards for public spaces, including but not limited to wall-mounted plumbing fixtures, lighting, and any other applicable specifications or requirements.

### Inclusive Design

The design prioritizes accessibility by providing a barrier-free route from grade to the building entrance via an asphalt ramp with a maximum slope of 1:20, ensuring a gentle and safe transition for all users. The ramp will be designed with appropriate surface treatments in accordance with the Ontario Building Code (OBC) accessibility requirements. Within the building, a universal washroom will be provided, fully adhering to OBC standards, including the required minimum turning radius to accommodate mobility devices. Fixtures, clearances, and hardware will be thoughtfully selected to ensure ease of use, supporting an inclusive environment for all occupants and visitors.

### Summary

The new Sea Cadets building at Barrie South Shore will reflect a purpose-built, modern facility with marine sensibility and rugged beauty. The integration of thermally modified wood, metal roofing, refined concrete finishes, and clean architectural detailing ensures the structure is both functional and architecturally enduring. Careful attention to drainage, ventilation, lighting, and site circulation will support year-round, all-weather use while creating a safe, inspiring space for cadets and staff alike.

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*Conceptual Rendering*

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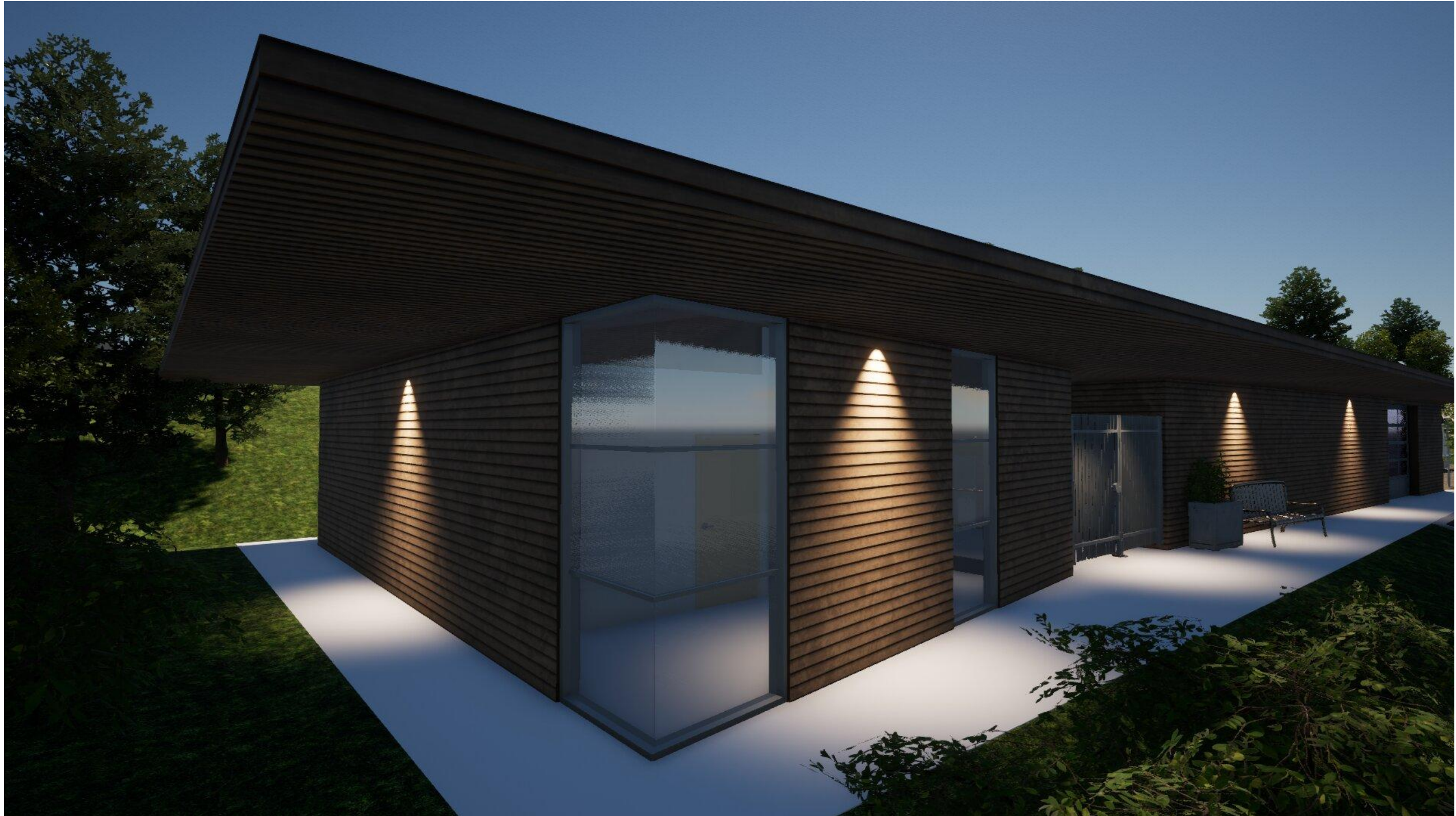




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Materials



Corrugated Metal Roof



Thermally Modified Wood

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**BARRIE Progressive Design Build - Southshore Community Centre**  
**CLASS D COST PREDICTION REPORT - OPTION A**  
**OPTION A**

Item	Task	Cost
1	Hard Cost Construction (Division 1-16)	\$ 3,871,271
2	Design Contingency	\$ 387,127
3	Design-Builder Fee for Work	\$ 134,144
<b>4</b>	<b>Sub Total</b>	<b>\$ 4,392,542</b>
5	Escalation Contingency (Excluding Tariff cost/ Force Major Event)	\$ 201,377
6	Construction Contingency (Post Contract Changes)	\$ 402,754
<b>7</b>	<b>Total Estimated Hard Construction Cost</b>	<b>\$ 4,996,673</b>
8	Design-Builder Fee for Services	\$ 782,825
9	DB Fee for Provisional Items #1 & #2	\$ 305,802
10	Project Soft Cost Contingency	\$ 155,246
11	Allowances: Specialty Consultants	\$ 68,247
<b>12</b>	<b>Sub Total</b>	<b>\$ 6,308,793</b>
13	Insurance Premium	\$ 126,176
14	Insurance PST (8%) on Premium	\$ 10,094
15	Bonding Premium	\$ 89,878
<b>16</b>	<b>Total Estimated Soft + Hard Construction Cost</b>	<b>\$ 6,534,940</b>
OWNER DIRECT COSTS (Not included in figures above):		
17	FF&E: (Owner Supplied)	\$ -
18	Other Costs: Municipal (Internal) Changes	\$ -
19	Other Costs: Project Management (internal)	\$ 168,205
20	Other Costs: Operational Expenses (internal)	\$ 25,000
<b>21</b>	<b>Total Project Cost</b>	<b>\$ 6,728,145</b>
22	Less approved funds for Phase 1	\$ (540,000)
<b>23</b>	<b>Total Additional Funding required</b>	<b>\$ 6,188,145</b>
<b>24</b>	<b>HST (NON-RECOVERABLE 1.7602%)</b>	<b>\$ 108,924</b>
<b>25</b>	<b>GRAND TOTAL</b>	<b>\$ 6,297,069</b>