



APPLICATION FOR
ZONING BY-LAW AMENDMENT

545-565 BIG BAY POINT ROAD
CITY OF BARRIE

PUBLIC MEETING

February 26, 2025



INNOVATIVE PLANNING SOLUTIONS
PLANNERS • PROJECT MANAGERS • LAND DEVELOPERS



SITE STATISTICS

- Lot Area:
 - Entire Lands:
Approx. 12,098 m²
- Frontage:
 - 184m along Big Bay Point
- Existing Site Conditions
 - 8 Existing single detached dwellings
 - Generally flat

SURROUNDING USES



Transit Stops



Parks



Medical Centre



Places of Worship



Community Centre

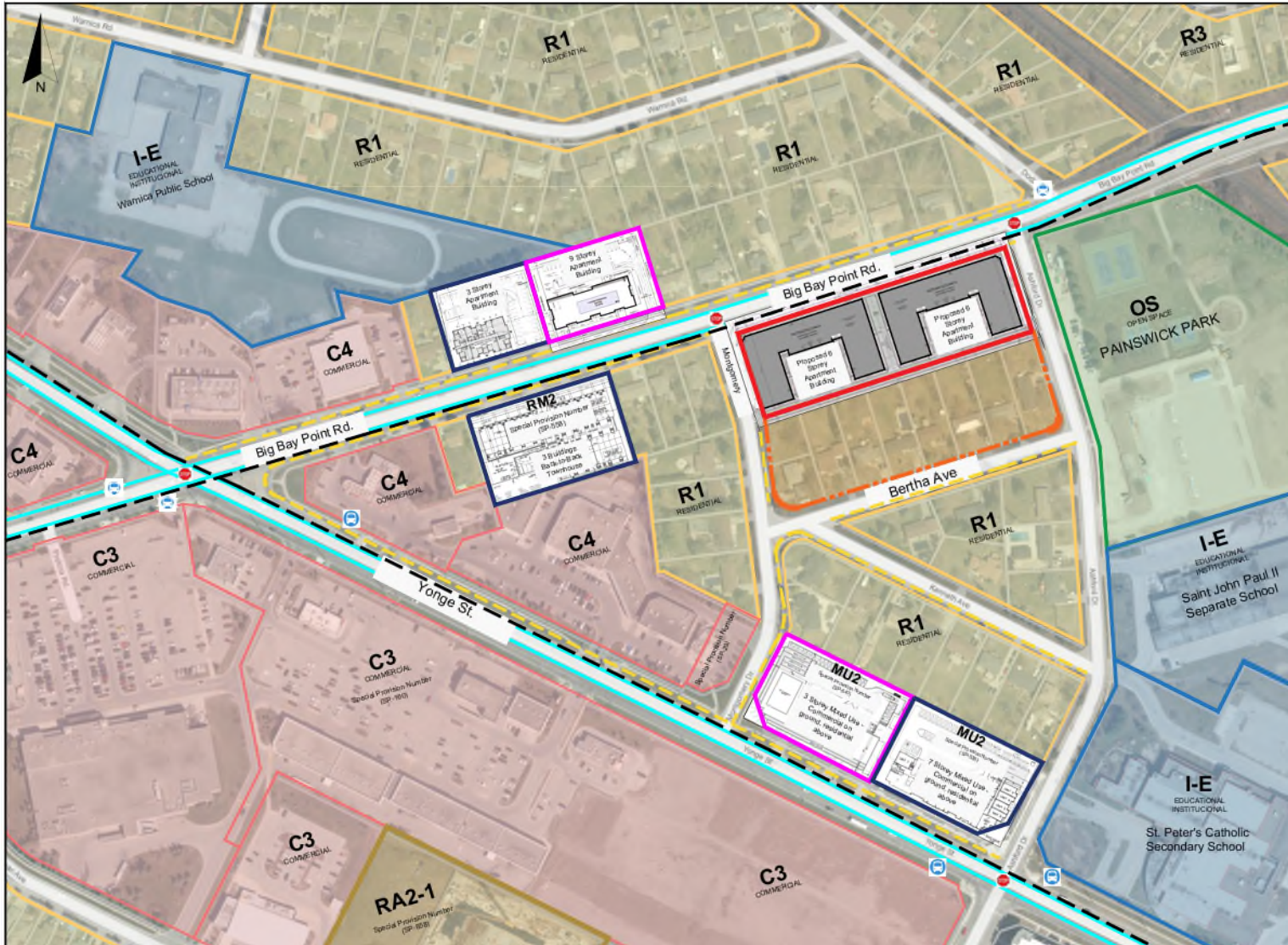


Subject Area



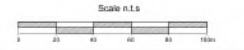
Higher Density
Development

BLOCK PLAN



CONCEPTUAL SITE PLAN

Yonge Street, Big Bay Point Rd., Barrie



LEGEND

- Subject Site ±12,096m² (2,989 ac.)
 - Proposed Development
 - Approved Development
 - Existing Sidewalk
 - Cycling Network
 - Existing Transit Route
 - Existing Transit Stop
 - Existing Road Intersections
 - Community Parks
- Current Zoning:**
- Residential
 - General Commercial
 - Institutional
 - Adjacent lands under the same ownership (not part of the subject site)

Source: Current City of Barrie Zoning by-law
Note: Information shown is approximate and subject to change.



City of Barrie Official Plan, 2022

- Neighbourhood Area



City of Barrie Zoning By-law 2009-141

- Residential Single Detached Dwelling First Density (R1)

Midnight Building Group are a boutique residential builder in the Greater Toronto Area and are committed to:

- Providing diverse housing options, with a focus on purpose-built rentals
- Partnering with the local community
- Providing unique commercial growth opportunities
- Experienced rental management team that oversees over 150 rental units

Two of the company partners have deep family ties in Simcoe County.

MB

MIDNIGHT BUILDING



Multiplex: 60 Cannon Rd.



Apartment building: 2585 Lakeshore Boulevard West



Single family: 69 Guthrie Ave

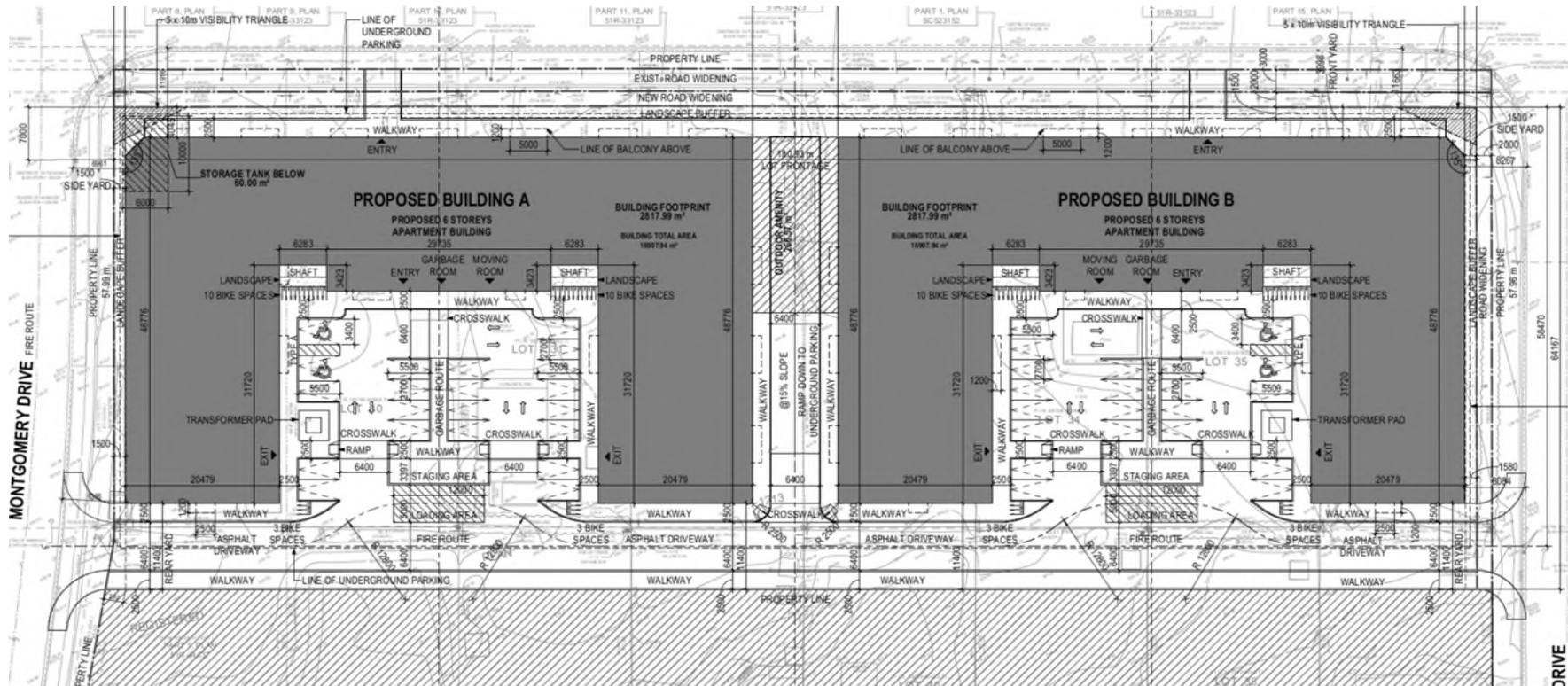


Multiplex: 106 Lake Promenade



Custom home: 47 Foursome Crescent, North York

DEVELOPMENT CONCEPT



Proposed:

- 456 dwelling units
- Two 6-storey buildings

Amenity Space:

- Outdoor amenity area

Parking:

- 366 total parking spaces

Other:

- Private internal condominium road
- Outdoor Landscape space providing pedestrian access to Big Bay Point Road
- Committed to providing Attainable units

DESIGN CONSIDERATIONS

- Exterior building
 - Modern building with glass facades and contrasting panels.
- Sustainable design
 - Landscaped areas with seating
 - Sustainable materials and finishes to reduce environmental impact



Zoning By-law Amendment

Residential Single Detached Dwelling First Density (R1)



Residential Apartment Second Density (RA2-X)

SITE SPECIFIC PROVISIONS

Table 1: Residential Apartment 2 (RA2-XX) Zone
Section 5.3.1 of By-law 2009-141

PROVISIONS	REQUIRED	PROVIDED
Permitted uses	Apartment Dwelling	Apartment Dwelling
Lot Area – Gross (min)	1,300 m2	11,633.92 m2
Front Lot Line	For a corner lot, the shorter lot line	Big Bay Point Road
Lot Frontage (min.)	30 m	180.93 m
Front Yard Setback to Dwelling Unit (min.)	7 m	4 m
Side Yard Setback (min.)	Where abuts a street: 3 m Otherwise: 5m	Abutting a street: 1.5 m
Rear Yard Setback (min.)	7 m	11.4 m
Landscaped Open Space (min.)	4,071.87 m2 35%	2,732.7 m2 24 %
Lot Coverage (max. % of lot area)	4,071.87 m2 35%	5,635.98 m2 48.44%
Gross Floor Area (max. % of lot area)	23,267.84 m2 200%	27,164 m2 233%
Building Height (max.)	30 m	19.5 m
Parking (min.)	684 (456 x 1.5) 1.5 spaces per unit	366 spaces 0.8 spaces per unit
Barrier Free Parking (min.)	22 Spaces (1 + 3% of required)	22 spaces

- Front Lot Line
- Reduced front yard setback
- Reduced side yard setback
- Reduced landscaped open Space
- Increased lot coverage
- Increased Gross Floor Area
- Decreased parking

REQUIRED STUDIES

- Planning Justification Report
- Affordable Housing Report
- Shadow Study
- Block/Context Plan
- Geotechnical Report
- Hydrogeological Study
- Functional Servicing and Stormwater Management Report
- Topographic Survey
- Architectural Set
- Tree Inventory & Preservation Plan/Report
- Noise/Vibration Impact Analysis*
- Traffic Impact & Parking Justification Study
- Swept Path Analysis
- Parking Justification Report
- Environmental Site Assessment (Phase 1 & Phase 2)
- Phosphorus Budget

- The lands are within the City of Barrie's Built-up Area. The proposed development makes efficient use of otherwise underutilized lands and existing resources.
- The development will be compact, walkable and transit-supportive in an appropriate location.
- Two 6-storey purpose-built rental apartment buildings will help the city meet intensification targets, diversify the range of housing options in the area, and contribute to the achievement of a complete community.
- The development provides much-needed housing stock in a functional manner and at a time when supply is limited and rents are increasing at a fast pace.
- The proposed development abuts a strategic growth area and will provide a transition to the surrounding lower-density areas.

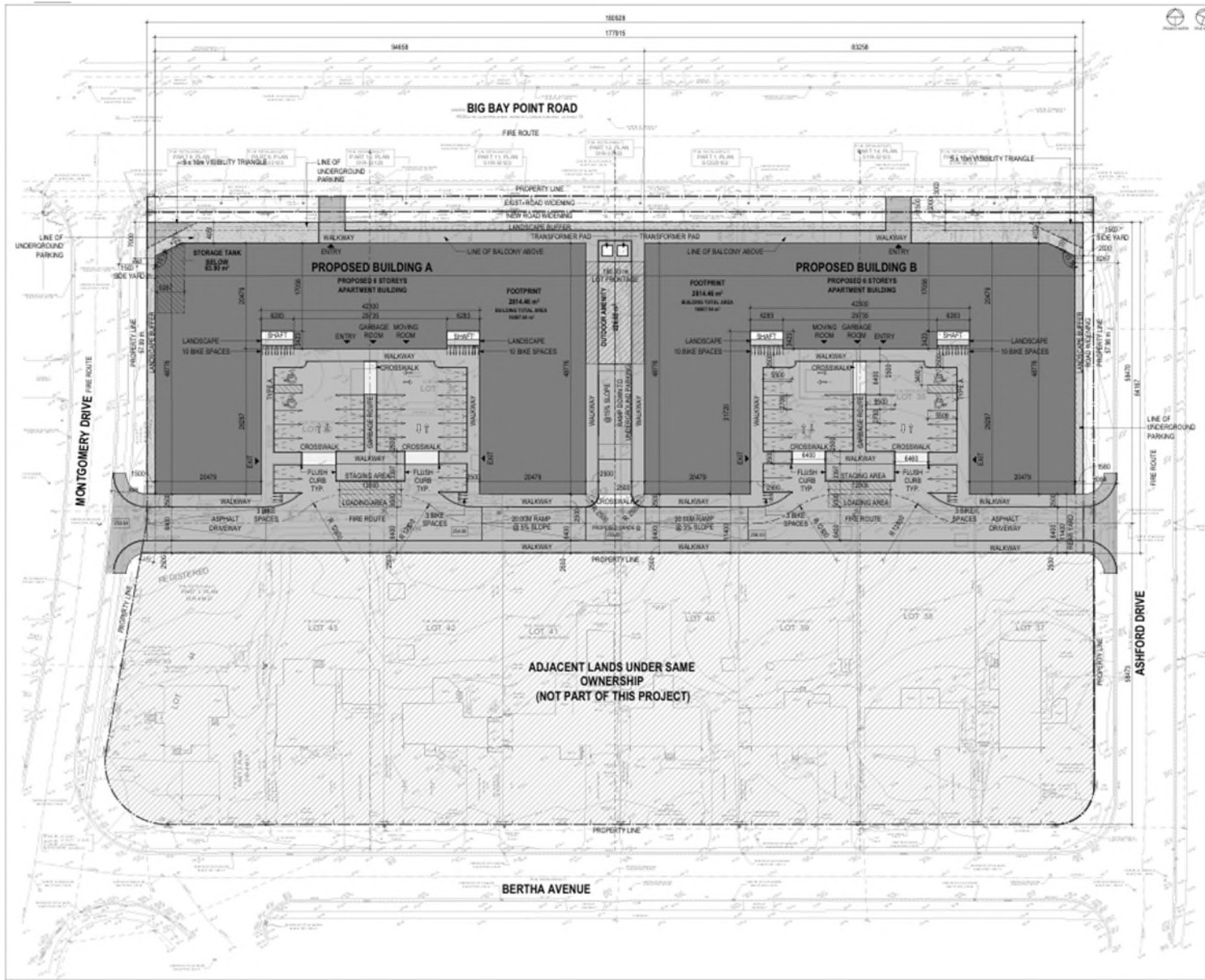
- This proposal seeks to facilitate a Zoning By-law Amendment in support of two 6-storey purpose-built rental apartment buildings.
- The development provides intensification in proximity to supportive land uses and similar proposed built forms.
- It is our opinion that the proposal is consistent and in conformity with all levels of planning policy.



THANK YOU
Questions & Comments Welcome

Email: info@ipsconsultinginc.com

SITE PLAN



CONTEXT PLAN

GENERAL PROJECT STATISTICS

LINE	STATISTICS	REQUIRED	PROPOSED
USE	APART. DWELLING	1000	1163
ZONE	URBANT	PROPOSED	PROPOSED
# STORIES	4	4	4
# PARKING SPACES	458	458	458
# BICYCLE SPACES	38	38	38
# BIKE PARKING SPACES	38	38	38
# BICYCLE PARKING SPACES	38	38	38
# BIKEWAY	1	1	1
# BIKEWAY	1	1	1

SITE STATISTICS

STATISTIC	REQUIRED	PROPOSED
LOT AREA (SQ. FT.)	1163	1163
LOT FRONTAGE (FT.)	330	330
LOT DEPTH (FT.)	350	350
LOT COVERAGE (SQ. FT.)	1163	1163
LOT COVERAGE (%)	100%	100%
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LOT COVERAGE (%)	100%	100%

PARKING STATISTICS

STATISTIC	REQUIRED	PROPOSED
PARKING SPACES	458	458
BICYCLE SPACES	38	38
BICYCLE SPACES	38	38
BICYCLE SPACES	38	38
BICYCLE SPACES	38	38
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BICYCLE SPACES	38	38
BICYCLE SPACES	38	38

PROJECT STATISTICS

LEVEL	TYP	AP	SP
LEVEL 1	LANDSCAPE	478	1163
LEVEL 1	LANDSCAPE	478	1163
LEVEL 1	LANDSCAPE	478	1163
LEVEL 1	LANDSCAPE	478	1163
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LANDSCAPE SCHEDULE

LEVEL	TYP	AP	SP
LEVEL 1	LANDSCAPE	478	1163
LEVEL 1	LANDSCAPE	478	1163
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LEVEL 1	LANDSCAPE	478	1163
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BICYCLE PARKING SCHEDULE

LEVEL	TYP	AP	SP
LEVEL 1	LANDSCAPE	478	1163
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LOCKER SCHEDULE