



August 8, 2013  
City Clerks Office, Barrie  
70 Collier Street  
Barrie, Ontario  
L4M 4T5

Dear Sirs:

Riverbank Homes Limited is in the business of creating and managing affordable housing in the Province of Ontario and over 15 years its owners have earned a solid and successful reputation in this sector.

In Barrie, one of the gaps in the housing supply continuum is affordable housing for seniors and persons with disabilities. Between 1996 and 2001, seniors' numbers in Barrie increased by 1,550. Between 1996 and 2001, the largest growth group in Barrie was ages 50 to 64. For the next 12 years the largest growth group is anticipated to be in the 65 to 85 year category. Low income seniors and persons with disabilities are in particular need of safe, accessible and affordable housing. In Barrie, more than 70% of unattached elderly renters are spending more than 30% of their income on rent, including 24.1% which are spending more than 50% of their income on housing. This creates serious affordability issues.

The Federal and Provincial Governments recognize the need for affordable seniors housing supply and have provided funding through the issuance of an Affordable Housing Program (AHP) for Simcoe County, administered at the County level. Many good quality proposals were presented for this funding throughout the County. Riverbank Home's proposal for 32 units of affordable housing (38 apartments in total) on 429 Blake Street in Barrie scored highest and was approved by the County. Under the program, this housing must remain affordable for a minimum of the next twenty years. Under the terms of the RFP, affordability means 70 percent of the Average Market Rent. In Barrie, this equates to \$618 per month for a newly built one bedroom apartment.

The building will be new, with quality finishes, elevator, common areas, library, computer area, support systems and office. Six of the units are designated fully barrier free. The building is designed to be an environmentally friendly building that blends in well in the community and will provide tremendous value to some of Barrie's senior residents. The building design and programs to be provided are planned for active seniors living.

202 - 268 Lakeshore Road East  
Mississauga, Ontario  
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Phone: 905-278-6384 Fax: 905-278-9031



It is most common that Municipalities participate in encouraging affordable housing for their residents in some way. Most municipalities waive development charges, parkland dedication fees, building permit fees, and provide a waiver of property taxes while the property remains affordable to encourage affordable housing to be developed in their City. In almost all circumstances, these fees are waived only if the property is accepted and part of an overall affordable housing program, such as the case in point.

We are asking for the municipality to waive fifty percent of the development charges for the 32 units only as well as building permit fees and parkland dedication fees. Riverbank Homes submitted the project to the County for AHP approval hoping and anticipating that the City of Barrie would also contribute along with the Provincial and Federal Governments to assist in providing affordable housing for its residents. The nature of the federal and provincial proposal call was such that there simply was not enough time to apply to the City for some assistance ahead of time. Our application to the County under the AHP contemplated the DC reduction and parkland dedication waiver, but had to be submitted in a manner that we would proceed even if this failed.

The project is approved by the County and the Province. We look forward to meeting with Finance Committee over this matter as soon as possible. Please contact me at any time with any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "T. Neeb".

Tim Neeb,  
President

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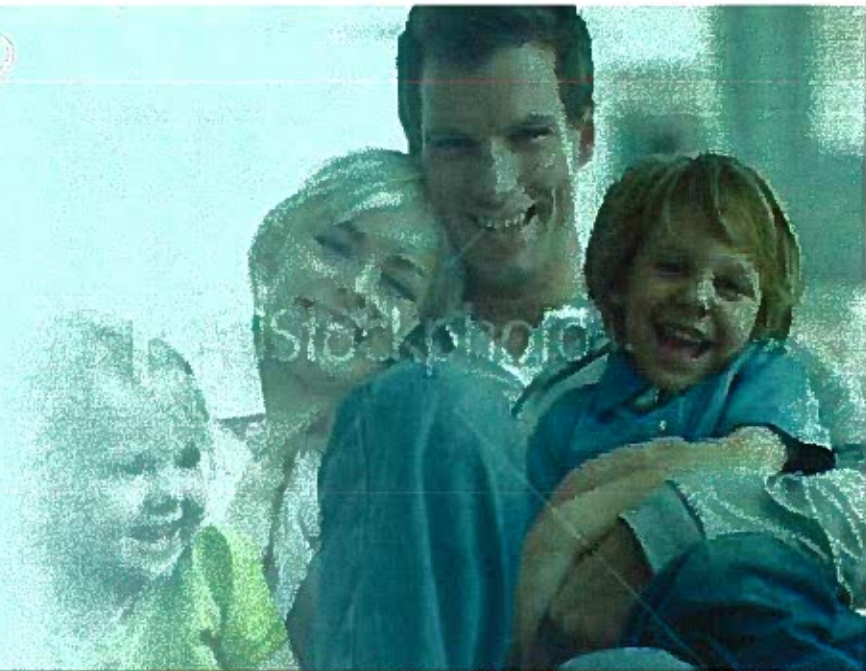
Some examples of what Municipalities are contributing at the City level to provide affordable housing:

1. City of Toronto - Development Charges and parkland dedication are fully waived. Property taxes are fully waived for the period of affordability.
2. Peterborough City - Full exemption from Development charges and Planning Act fees including building permit and parkland dedication.
3. City of Ottawa – Ottawa provides additional capital to AHP Affordable housing funded projects, (2013 - 4 million); affordable housing projects are fully exempt from all development charges; a grant is provided to offset building permit fees and planning fees; parkland dedication charges are exempt; taxation is single residential rate.
4. Hamilton - Waiving of Development charges for affordable rental housing only for projects receiving funding under affordable housing programs.
5. County of Leeds-Brockville - Waives DC's for affordable housing under proposal calls.
6. London - Waiver of building permit fee, and provides grants to offset DCs.
7. Muskoka - Reduced DCs for smaller sized units to benefit affordable housing.
8. Kingston - Offset Grants for Development Charges.
9. Brantford - Offset grants for development charges.
10. Waterloo - DCs are either fully waived or deferred while property is affordable housing.
11. Wellington - Guelph-Building Permit, Development Charges and Parkland Dedication are either fully waived or reduced on a case by case basis.
12. Windsor - Building Permit, DC's and parkland dedication can be waived on a case by case basis.
13. Niagara - waiver of Development Charges, several forms of grants available
14. County of Oxford – Woodstock waives Development charges



# Did you know?

There is a significant shortage of affordable housing in the community. Nationally, Peterborough has one of the highest proportions of its renter households in core housing need. Help us address this problem by including affordable housing units in your construction project.



## Available programs

### **AFFORDABLE HOUSING COMMUNITY IMPROVEMENT PLAN (CIP)**

- Municipal Incentive Program
- Development Charges Program
- Tax Increment Grant Program

### **CENTRAL AREA COMMUNITY IMPROVEMENT PLAN (CIP)**

### **INVESTMENT IN AFFORDABLE HOUSING PROGRAM (IAH)**

### **MUNICIPAL HOUSING FACILITIES PROPERTY TAX EXEMPTION**

### **HERITAGE PROPERTY TAX RELIEF PROGRAM**

## Are you interested

### **IN FINANCIAL INCENTIVES TO SUPPORT YOUR AFFORDABLE HOUSING PROJECT?**

Please apply if you are interested in building affordable housing within the City's of Peterborough Affordable Housing Community Improvement Project Area (see map). Program guides and applications are available on the City's website.

[www.peterborough.ca/cip](http://www.peterborough.ca/cip)







# Affordable Housing CIP Programs

- **MUNICIPAL INCENTIVE PROGRAM**

This program will waive municipal fees such as planning application fees, parkland fees, and cash-in-lieu of parking fees for affordable housing projects.

- **DEVELOPMENT CHARGES PROGRAM**

This program will waive the payment of development charges for any new affordable housing units (subject to available funding).

- **TAX INCREMENT GRANT PROGRAM**

An annual grant to property owners will reimburse a portion of the municipal property tax increase resulting from increased assessment. The program would be implemented over a period of 9 years. For the first 5 years the grant would be equivalent to 100% of the municipal tax increase with the property owner gradually paying the full amount of taxes from years 6 to 9.

## Central Area CIP Programs

Affordable housing projects located in the Central Area may also qualify for additional funding under the Central Area CIP incentive programs. These programs include a grant to property owners who redevelop their properties for residential purposes and a cancellation of the property tax increase on a brownfields property or former industrial site during its environmental remediation and redevelopment periods. Further information on these programs is available on the City's website.

## Other Financial Incentives

- **ONTARIO'S INVESTMENT IN AFFORDABLE HOUSING PROGRAM (IAH)**

New housing projects may also apply for funding under this provincial program (subject to available funding). Rents would be required to meet criteria for enhanced affordability.

- **MUNICIPAL HOUSING FACILITIES PROPERTY TAX EXEMPTION**

Full or partial property tax exemptions for up to 10 years for affordable housing projects that provide rents at or less than 90% of average market rents (in addition to the Tax Increment Grant offered under the CIP).

- **HERITAGE PROPERTY TAX RELIEF PROGRAM**

Designated heritage properties in the Central Area may be eligible for tax relief in the amount of 40% (for residential properties) or 20% (for commercial properties).

For more information on this program contact the Heritage Preservation Office, City of Peterborough 705-742-7777 ext. 1489

# CIP FAQ'S

## WHO CAN APPLY?

Anybody intending to build affordable rental housing within the City's Affordable Housing Community Improvement Project Area (see map) can apply. Non-profit organizations intending to build affordable ownership housing may also be considered for some or all of the programs on a case-by-case basis.

## IS THERE A COST TO APPLY?

No.

## IS A PROJECT ELIGIBLE FOR FUNDING FROM MORE THAN ONE CIP INCENTIVE PROGRAM?

Yes. Projects may also be eligible for capital funding from other City and/or provincial/federal housing programs.

## WHAT IS "AFFORDABLE" HOUSING?

For eligibility under the CIP programs, rental housing at or below average market rents will be considered affordable.

As a guideline, for 2012, housing will be considered "affordable" at the following rents.

Rents will be updated annually and the City may require greater levels of housing affordability for various programs.

## 2012 Rent Average Market (Monthly)

Bachelor	\$610
1-Bedroom	\$769
2-Bedroom	\$899
3-Bedroom	\$1122

# CIP Application Process

## STEP 1: APPLICATION SUBMISSION

- Pre-application meeting with Municipal Staff.
- Application and supporting documentation submitted by mail or in person to City's Housing Division.

## STEP 2: APPLICATION REVIEW AND EVALUATION

- Staff review and evaluate application.
- Staff recommendation report to City Council.

## STEP 3: APPLICATION APPROVAL

- City Council approves the application.
- Staff executes an agreement that is signed by the applicant.

## STEP 4: PAYMENT

- Applicant provides proof that the project is complete.
- Staff inspects the property and is satisfied with all reports and documentation.
- The owner has no property tax arrears and has paid property taxes for the year with no outstanding orders or municipal fees against the property.
- Municipal fees and development charges will be waived at the time of application for planning approvals and/or building permit issuance.
- The first tax grant cheque will be provided to the property owner, after the first property tax bill based on the increased tax assessment has been paid. Subsequent annual tax grants will be provided after the City has received a rental report proving the project continues to meet affordability guidelines.



# The Overview

A healthy, sustainable community is one in which housing is accessible and affordable to all residents. However, the private and non-profit sectors are challenged in providing housing that is affordable to low and moderate households without some form of financial incentive. These financial incentives intend to stimulate the construction of affordable housing and help Peterborough continue to be a more healthy and sustainable community.

## To learn more

Contact us:

Email: [housing@peterborough.ca](mailto:housing@peterborough.ca)

Phone: 705-742-7777 ext. 1499

Toll free: 1-855-738-3755 ext. 1499

[www.peterborough.ca/cip](http://www.peterborough.ca/cip)



Peterborough's Affordable Housing  
Community Improvement Project Area



City of  
**Peterborough**

Summer 2012

# Peterborough's Financial Incentives for **Affordable Housing**



### **iii) Contributing to the Building of Healthy Communities**

While there are a number of technical requirements new affordable housing must meet, it is also important to recognize the role of housing in building healthy communities.

New affordable housing is needed to create an ongoing asset in the community, which can help bring stability and support to struggling households. Well-planned affordable housing should also be integrated into the community and meet the needs of the community from both a design and social perspective.

The minimum sizes for units created under this program are those set out in the Ontario Building Code.

### **c) Assistance from the City of Ottawa**

Action Ottawa offers a variety of substantial incentives for developers of affordable rental housing:

#### **i) Financial**

- Capital grants of up to an average of \$60,000 per unit.
- Lowered property taxes for new multi-residential housing, which will effectively pay the residential rate for a 35-year period. (Savings of approximately \$10,000 per unit in the first 10 years).
- Development Charges Exemptions - worth approximately \$6,100 - \$9,500 per unit.
- Building permit exemptions - worth up to \$1,000 per unit.
- Parkland Levy Exemptions - worth approximately \$1,000 per unit.
- Planning fee exemptions - worth approximately \$200 per unit.
- Rent Supplements - worth the monthly difference between the average market rent and approximately 30% of a low-income household's income.

#### **ii) Land**

Action Ottawa will make available suitable parcels of surplus municipal land for affordable housing purposes, when possible. Access to select City of Ottawa sites for use for affordable housing will be through a long-term lease. The value of the land is expected to be approximately \$10,000 - \$20,000 per unit and will vary depending on the site. The use of City land will not be considered to be an equity contribution from a proponent when evaluating submissions under an RFP.

Land owned by developers is considered an equity contribution when put forward for development under Action Ottawa and will be considered in the evaluation and selection of proposals. The developer must provide either proof of ownership of land or long-term lease OR an option to either purchase land or acquire the use of land through a long-term lease.

The proposal evaluation preference for projects that can be completed in a relatively short period of time will take into consideration whether land is already owned by the developer, or whether the developer has an option to purchase or lease a specific parcel of land.



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